



DOWNTOWN GALLOWAY PROFESSIONAL PARK OFFERING

**412 E JIMMIE LEEDS ROAD
GALLOWAY, NJ 08205
ATLANTIC COUNTY
BLOCK 1164 | LOT 1.03**



INVESTMENT HIGHLIGHTS

- ◆ ¼ mi. from Galloway Municipal Complex
- ◆ Located in the heart of Downtown Galloway
- ◆ Easy access from GSP (3 mi)
- ◆ Easy access from Rt. 9 (1 mi)
- ◆ Public transportation to building
- ◆ Great cash-on-cash returns
- ◆ April 2008 Appraisal: \$2,000,000 (completed and stabilized)

INVESTMENT OVERVIEW

KD Group is pleased to present Downtown Galloway Professional Park for sale at a purchase price of \$549,995 for the land and approvals.

The site is located just ¼ mi. from the Galloway Township Municipal Complex and just 3 miles from the AtlantiCare Regional Medical Center (Hospital) with easy access from both Garden State Parkway and Route 9.

Take advantage of this price drop and currently low mortgage rates. Financing can be arranged with adequate equity down payment.

OFFERING SUMMARY & GENERAL INFORMATION

Price (Land/Approvals)	\$549,995
Proximity to Hospital	3.5 miles
Lot size	1 Acre (+/-)
Size of building	10,000sf +/-
Parking	42 Spaces
Construction	TBD (based on preference)
Year Built	Ready to start construction
Electric Service	TBD (based on use)
Real Estate Tax (2011)	\$6,890.85 (as is)



CONTACT FOR MORE INFORMATION:

SIGMA INVESTMENTS, INC.
KENNY PATEL
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 Cell: (609) 214-5696
 Kenny@kdgroupinc.com
 www.kdgroupinc.com

AREA INFORMATION

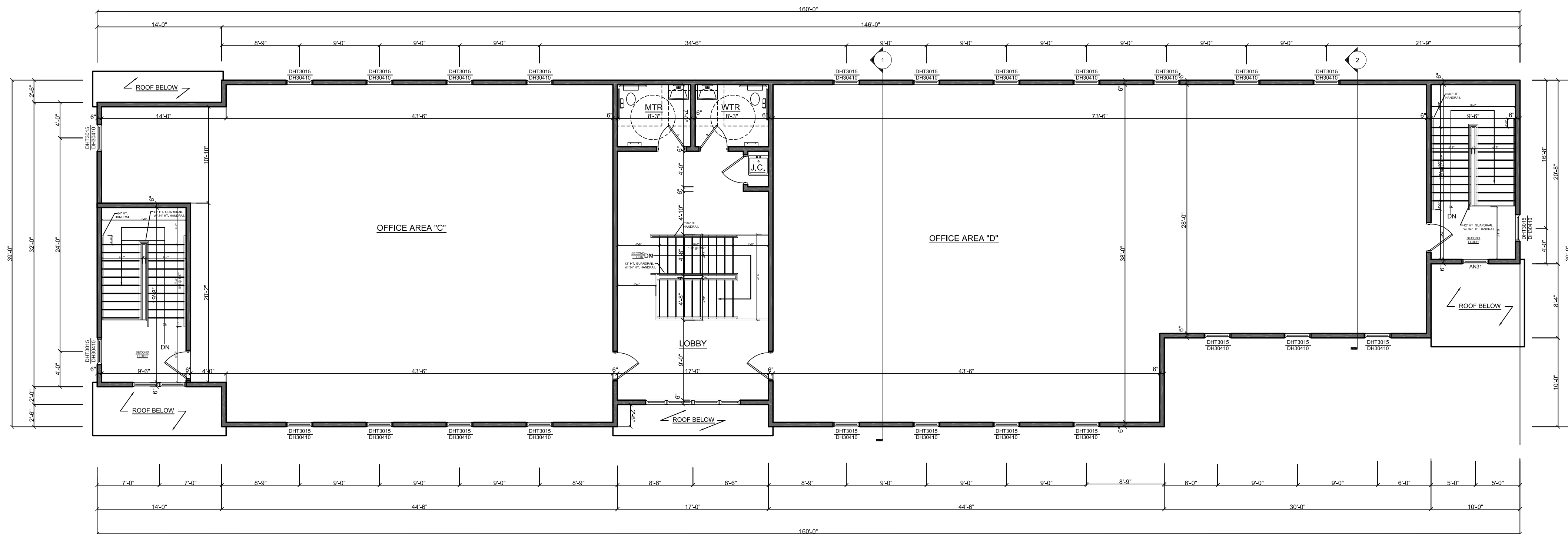
DOWNTOWN GALLOWAY PROFESSIONAL PARK

412 E. JIMMIE LEEDS ROAD, GALLOWAY NJ 08205

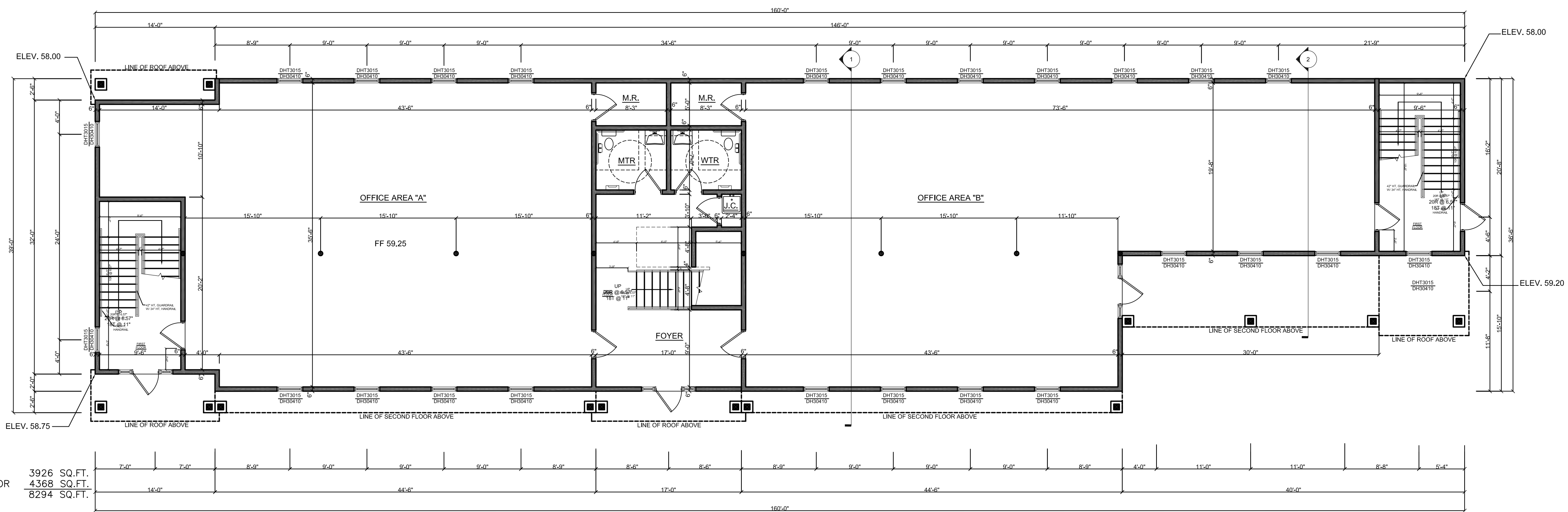


AREA INFORMATION

	1-mi.	3-mi.	5-mi.
Total Population (2007):	3,637	29,088	52,824
Population change (2000-2007):	9.65%	9.89%	8.69%
Avg HH Income (2007):	\$79,808	\$72,486	\$66,118



SECOND FLOOR PLAN
 1/8"=1'-0" 4368 SQ.FT.



FIRST FLOOR 3926 SQ.FT.
 SECOND FLOOR 4368 SQ.FT.
 TOTAL 8294 SQ.FT.

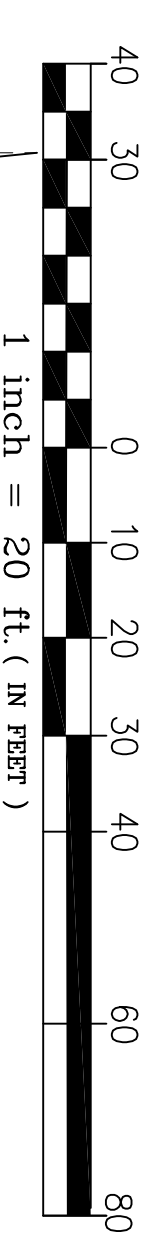
FIRST FLOOR PLAN
 1/8"=1'-0" 3926 SQ.FT.

REVISIONS
05/21/08
06/10/08

07/17/05	E.K.
	H.S.H.
	10/22/07

SHEET NO.

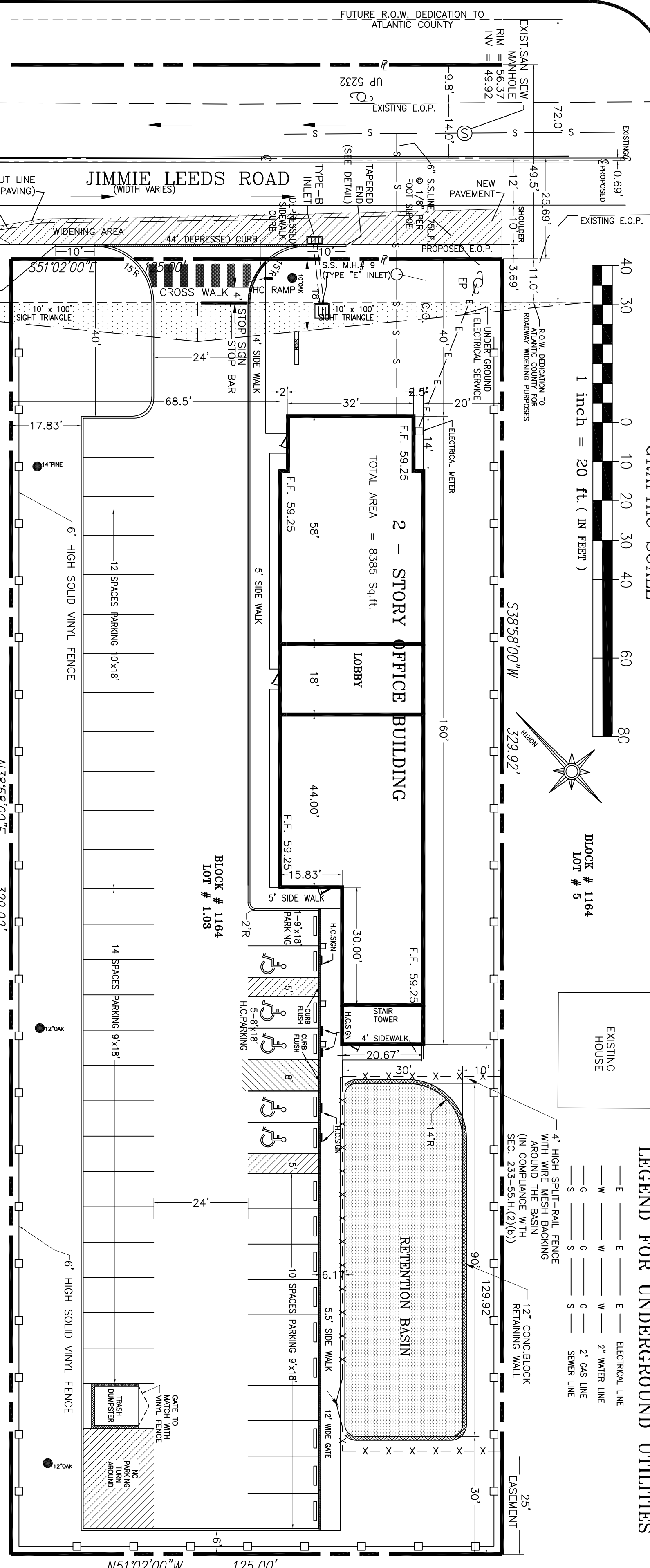
GRAPHIC SCALE



Block # 1164
Lot # 5

LEGEND FOR UNDERGROUND UTILITIES

- E — E — E — ELECTRICAL LINE
- W — W — W — WATER LINE
- G — G — G — GAS LINE
- S — S — S — SEWER LINE
- 4" HIGH SPLIT-RAIL FENCE WITH WIRE MESH BACKING
- 12" CONC BLOCK RETAINING WALL

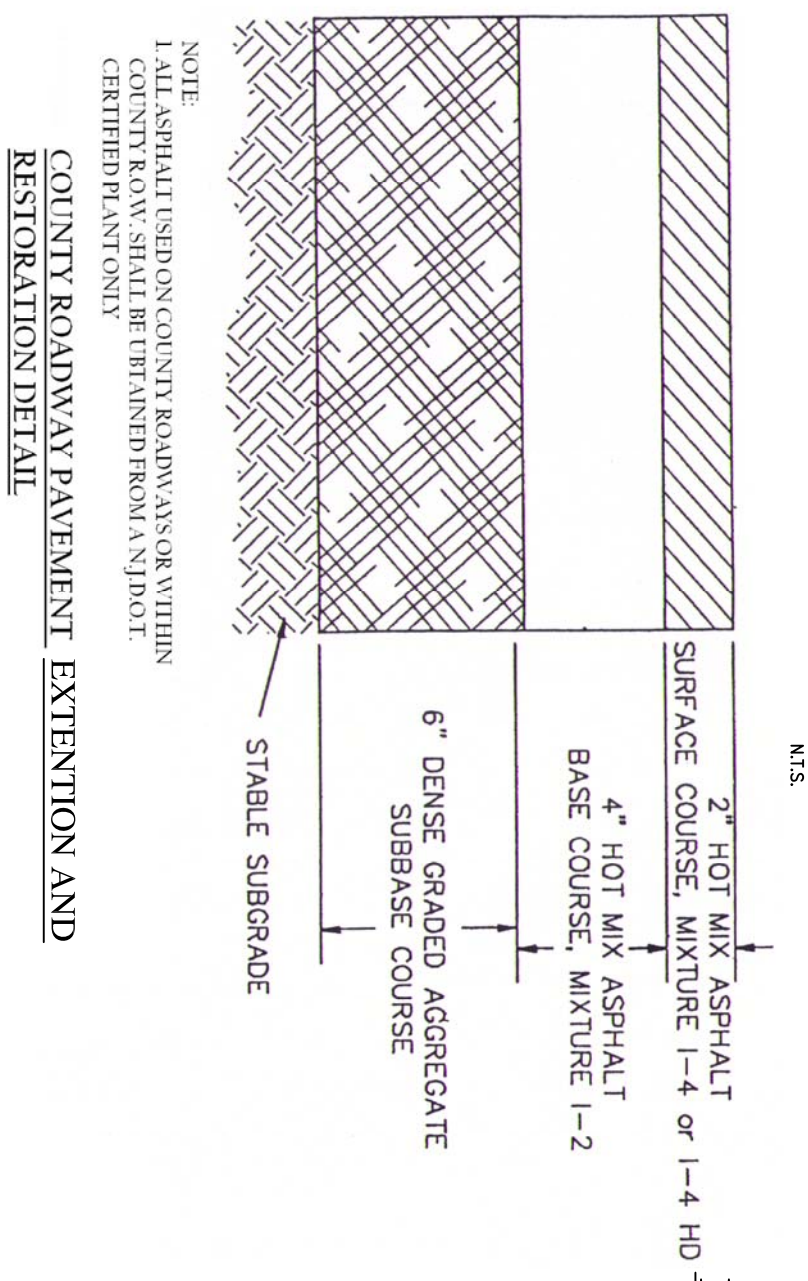
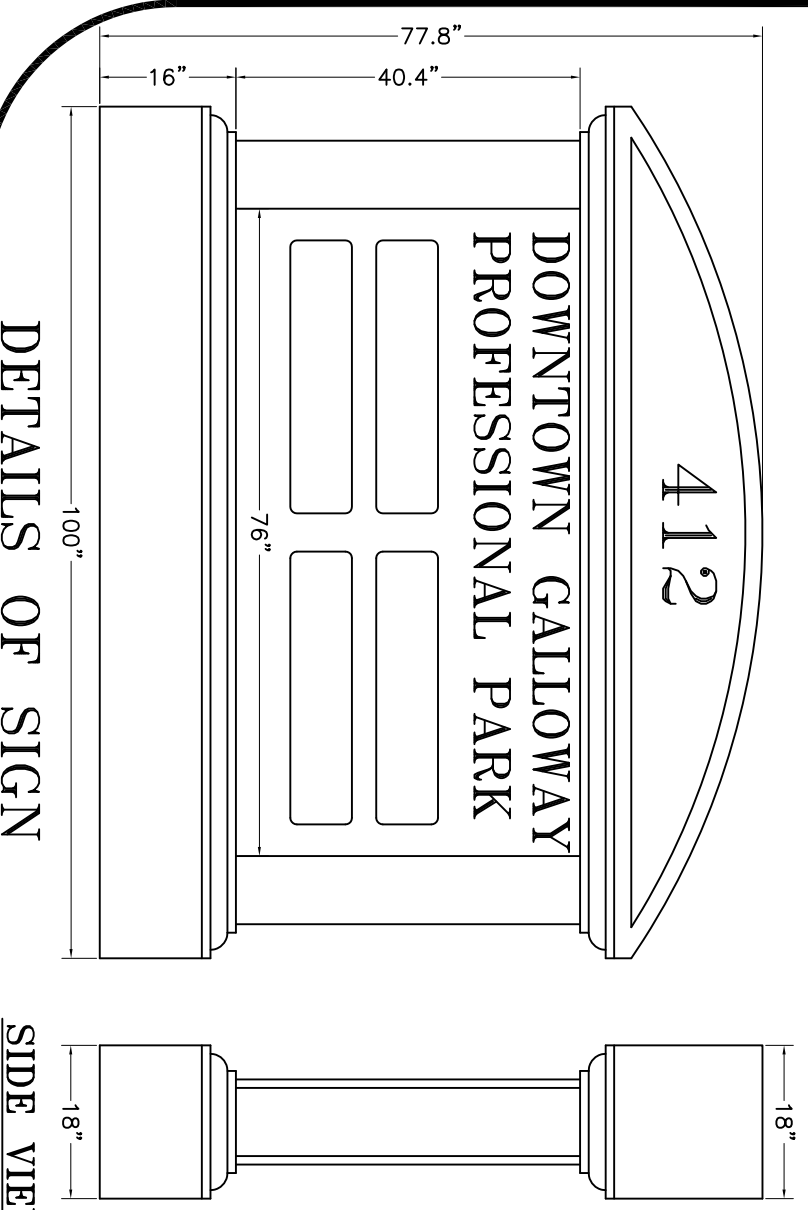
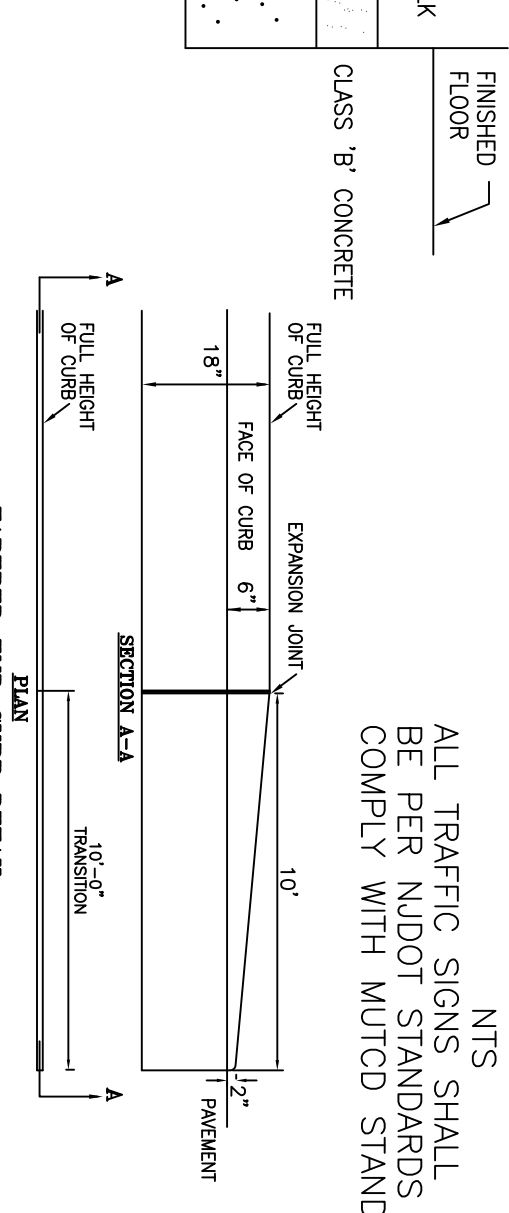
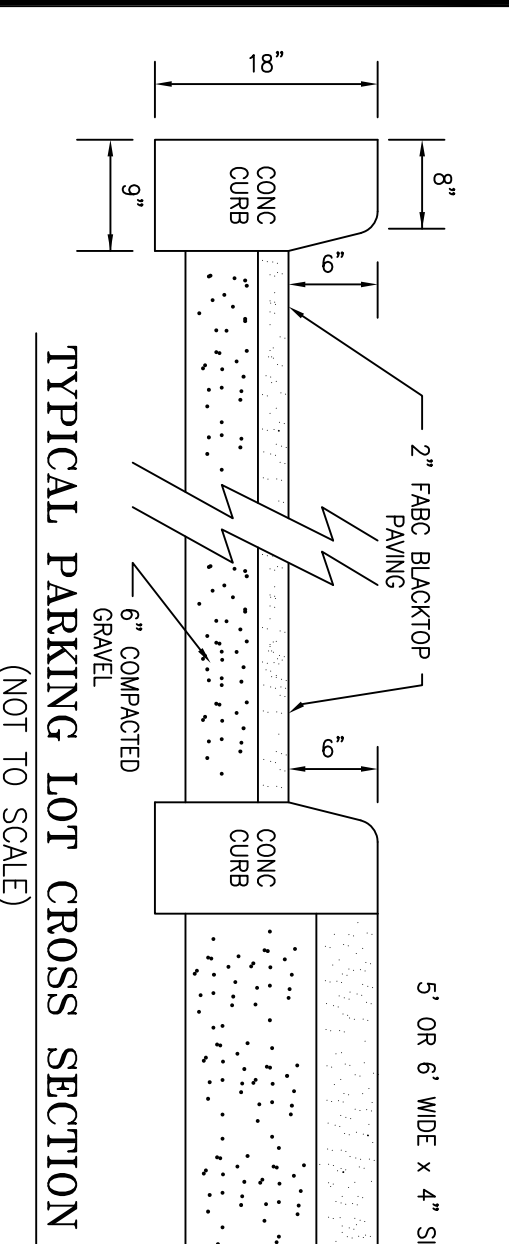
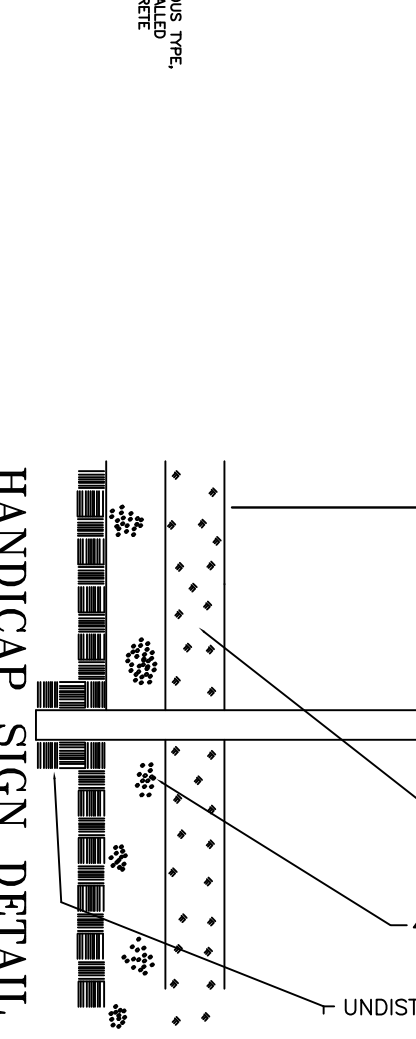
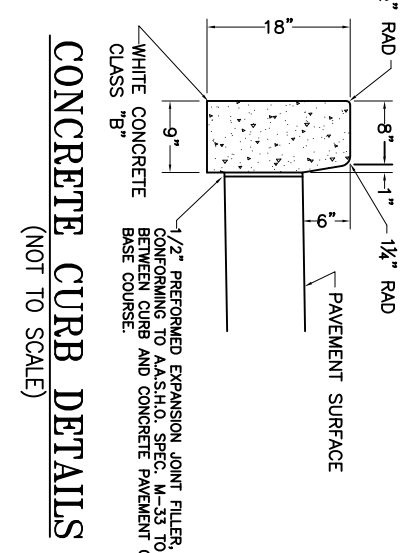
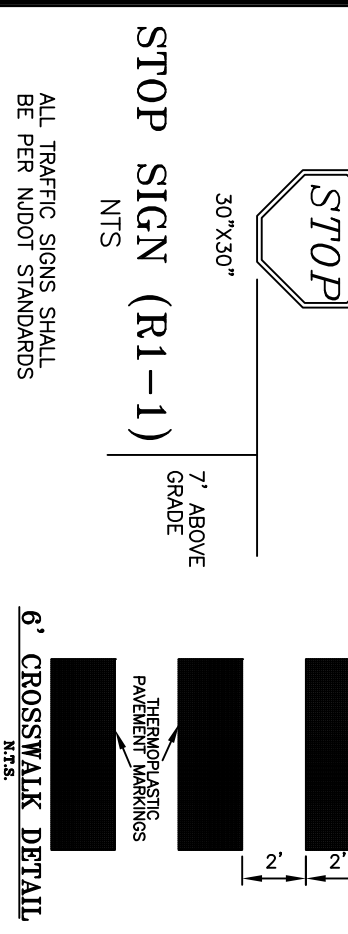
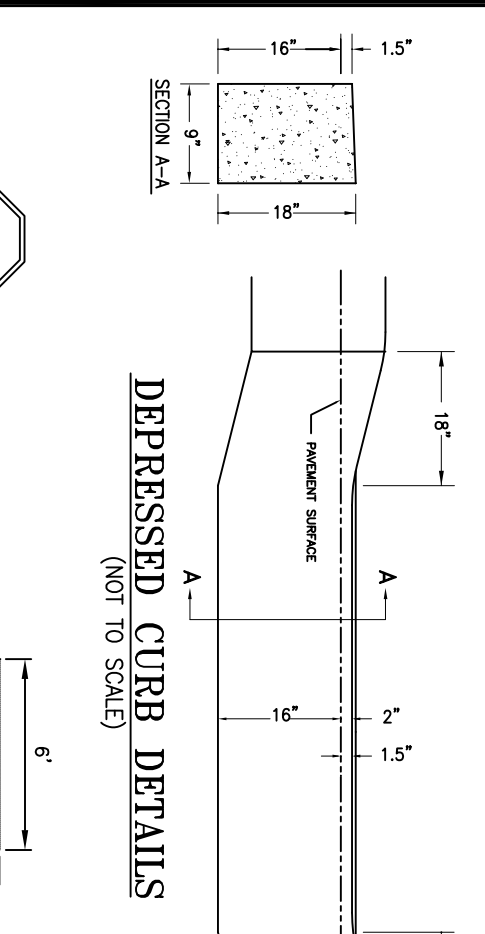


TOTAL AREA OF TRACK = 41240 S.F.
AREA TO BE DISTURBED = 41240 S.F.
SITE PLAN
SCALE : 1"=20'

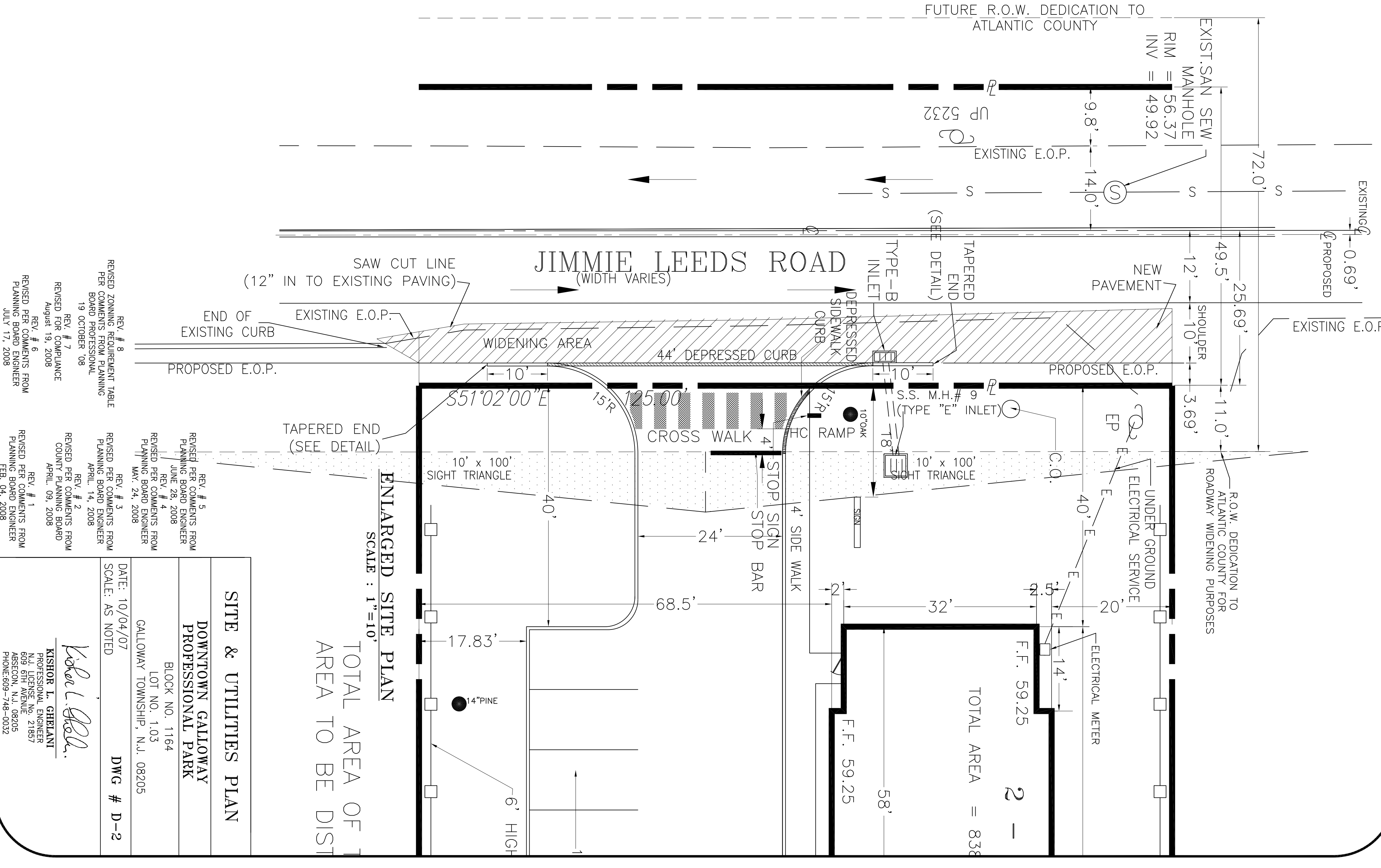
ZONING REQUIREMENT

DESCRIPTION	REQUIRED OR PERMITTED	PROPOSED	VARIANCE
LOT AREA	20,000 S.F. MIN.	41,240 S.F. (0.9467 ACRES)	NO
LOT WIDTH	200 FEET MIN.	125'	YES
FRONT SETBACK	40 FEET MIN.	40'	NO
LEFT SIDE SETBACK	20 FEET MIN.	20'	NO
RIGHT SIDE SETBACK	20 FEET MIN.	68.5'	NO
REAR SETBACK	20 FEET MIN.	129.92'/DUAL-6'	NO/YES
PARKING SPACES (TOTAL 42 REQUIRED)	42 SP. (371-SHC2)	NO	NO
PARK STALL SIZE	180 S.F., 9' W MIN	SMALLS 9'x18'	NO
BUILDING COVERAGE	30%	SMALLS 10'x18'	NO
SITE COVERAGE	60%	51.06%	NO
BUILDING HEIGHT	35 FEET MAX.	TOP OF FOOTING AVERAGE HEIGHT=27'	NO
SETBACK	14 FEET PER FOOT	125 S.F. MAX.	NO
SIGN AREA	6 S.F. PER FOOT	125 S.F. MAX.	NO

REQUESTING WAIVER FROM SECTION 233-25-C-5 BUFFER STRIPS.
(a) A BUFFER STRIP IS REQUIRED ALONG ALL LOT LINES AND STREET LINES SEPARATING THIS PROPOSED OFFICE BUILDING FROM ADJACENT PROPERTIES AND REDUCING NOISE.
(b) THE BUFFER STRIPS SHALL BE AT LEAST 50' IN WIDTH MEASURED IN FROM THE EXISTING TREES AND SHRUBS. LANDSCAPING MATERIALS, BENCH WALLS OR FENCES, NO ACCESSORY OR STRUCTURES USES, INCLUDING DRAINAGE BASIN, PARKING AREAS, AND INTERNAL CIRCULATION LINES, SHALL BE LOCATED IN THIS DESIGNED BUFFER AREA.



- NOTES:
- IF ANY SOFT OR UNSUITABLE MATERIALS ARE LOCATED WITHIN THE PROPOSED AREA OF PAVEMENT, THESE AREAS WILL BE EXCAVATED AND A GRAVEL SUBBASE MATERIAL WILL BE INSTALLED AND COMPACTED.
 - ANY UTILITY SERVICES/POLES COMPLECTING WITH THE CONSTRUCTION OF THE REFERENCED PROJECT WILL BE RELOCATED AT NO COST TO THE TOWNSHIP.
 - APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND CLEANING OF THE REFERENCED RETENTION BASIN.
 - IF ANY UNSUITABLE MATERIALS ARE ENCOUNTERED DURING EXCAVATION OF THE PROPOSED BASIN THAT THESE AREAS SHALL BE REMOVED AND SUITABLE MATERIAL WILL BE INSTALLED.
 - ALL UTILITIES WILL BE INSTALLED UNDERGROUND INCLUDING ELECTRIC UTILITIES.
 - THE PARKING LOT WILL BE STRIPPED INCLUDING HANDICAP SPACES.
 - THIS SITE IS NOT LOCATED IN THE FLOOD PLAIN.
 - INFORMATION HERE TAKEN FROM THE SURVEY PREPARED BY JAMES R BONEY DATED 09/01/2007
 - DESIGN ENGINEER WILL CERTIFY THAT THE STORMWATER MANAGEMENT SYSTEM IS BUILT AS PER DESIGN AND WILL PERFORM AS PER DESIGN.
 - THE APPLICANT MUST PROVIDE A "TOWN BOY" KEY VAULT AT THE MAIN ENTRANCE TO THE STRUCTURE AS PER FIRE DEPARTMENT'S REQUIREMENT.



SITE & UTILITIES PLAN

DOWNTOWN GALLOWAY PROFESSIONAL PARK
BLOCK NO. 1164
LOT NO. 1.03
GALLOWAY TOWNSHIP, N.J. 08205

DATE: 10/04/07
SCALE: AS NOTED

DWG # D-2

KISHOR I. GIBBLANI
N.J. LICENSE NO. 21857
609 6TH AVENUE
PHILADELPHIA, PA 19106

- REVISED ZONING REQUIREMENT TABLE PER COMMENTS FROM PLANNING BOARD PROFESSIONAL
REV # 8
19 OCTOBER 08
- REVISED PER COMMENTS FROM PLANNING BOARD PROFESSIONAL
REV # 7
August 19, 2008
- REVISED PER COMMENTS FROM PLANNING BOARD PROFESSIONAL
REV # 6
JULY 17, 2008
- REVISED PER COMMENTS FROM PLANNING BOARD PROFESSIONAL
REV # 5
JUNE 26, 2008
- REVISED PER COMMENTS FROM PLANNING BOARD PROFESSIONAL
REV # 4
MAY 24, 2008
- REVISED PER COMMENTS FROM PLANNING BOARD PROFESSIONAL
REV # 3
APRIL 14, 2008
- REVISED PER COMMENTS FROM PLANNING BOARD PROFESSIONAL
REV # 2
APRIL 09, 2008
- REVISED PER COMMENTS FROM PLANNING BOARD PROFESSIONAL
REV # 1
FEB 04, 2008